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MCQUEEN CITY CENTRE PLAZA

8975 McLaughlin Road South, Brampton

Exclusive Presentation By:
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Project Overview

The McQueen City Centre Plaza will become a Local point for the surrounding community with the following features:

- ✔ Located on nearly 1.20 acres, it is comprised of approximately 13,100 sq. ft. in L-shaped building consisting of 11 units
- ✔ Units ranging from 765 sq. ft. to 1459 sq. ft.
- ✔ Situated on one block south on southeast corner of McLaughlin Road South and Queen Street
- ✔ The McLaughlin City Centre access points and site plan was designed to maximize exposure for every unit
- ✔ Each unit is exposed to traffic entering and exiting with right of way to the existing adjoining plaza
- ✔ The property zoning by-laws allow a wide range of Retail Commercial (SC-3149) use
- ✔ The site plan provides ample parking to the landlord/tenants and shoppers
- ✔ McLaughlin Road is serviced by Brampton Transit
- ✔ Fully paved lined parking areas and driveway

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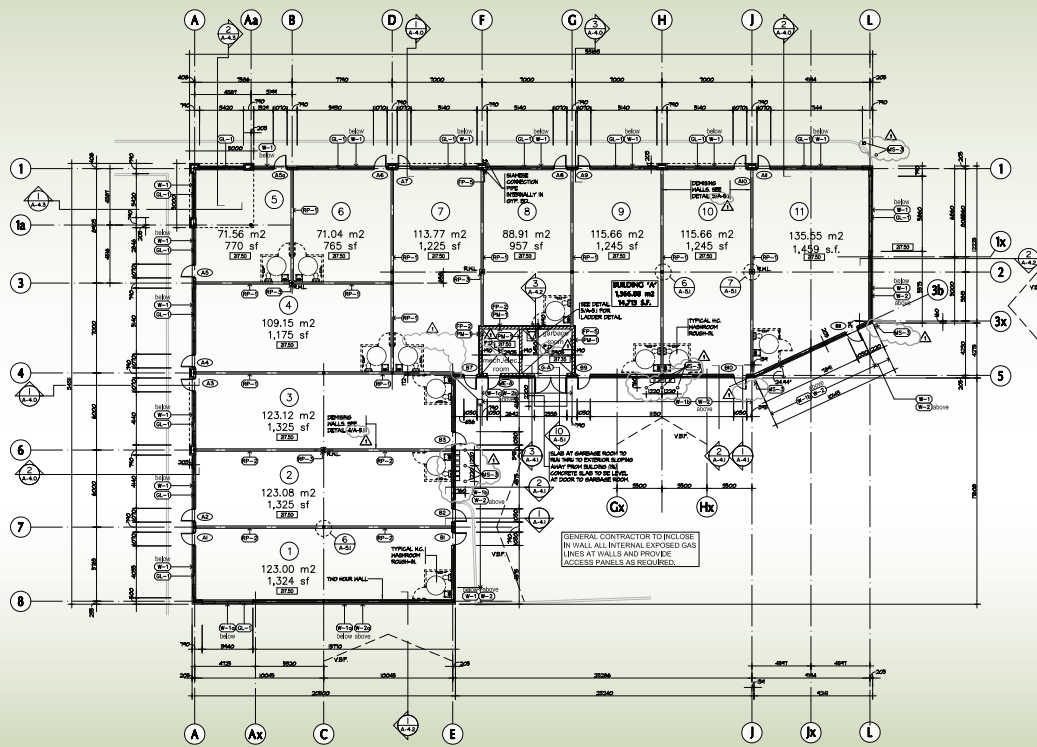
of your future



making it happen



only the best



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Building Features

ALL WORK AS PER ONTARIO BUILDING CODE

HEIGHT:	Height to underside of the metal deck to be approximately 16 feet.
SPRINKLERS:	Fully sprinkler building (Normal Hazard)
FLOOR:	4" Concrete slab on grade
WALLS	All interior walls, floors and ceilings to be unfinished. Demising wall to the underside of the steel deck and demising drywall walls.
WINDOWS:	All windows to be pre-finished with aluminum frames with sealed double glazed with thermo panes.
HVAC:	One HVAC unit, installed and all necessary ductwork, terminated at underside of roof deck, to provide for distribution to the premises for the Purchaser/Tenant at the purchaser/tenants sole cost and expense to complete all distribution within the premises
LANDSCAPING:	Professionally landscaped areas with irrigation systems as approved by the plans
ROOF:	4-ply asphalt felt and pea gravel roof on metal deck or equal as per approved plans.

TELEPHONE:	An empty 2" conduit to be pre designated point
PLUMBING:	Rough in provisions for one, 2-piece wash room, one inch (1") water line (rough-in) included in the unit
POWER:	100 Amps, 600 Volt/ nonfused, terminated at disconnect switch
ZONING:	SC-3149 (Service Commercial – 3149)
PARKING:	Fully paved lined parking areas and driveway
EXTERIOR:	Architecturally controlled exterior colours, materials and signage. Architecturally controlled and designed landscaping and irrigation
INTERIOR:	All interior walls, floors and ceilings to be unfinished. Demising walls to be fire rated to the underside of the metal roof deck.
SIGNAGE:	Exterior signage details and finishes to be supplied by purchaser at purchaser's expense after prior approval of the Vendor and condominium management. Purchaser to install sign.
STRUCTURE:	Structural steel framing with open web roof joist

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Deposit Structure

Deposit be payable as follows:

- ▶ \$5,000 on signing the reservation agreement
- ▶ 10% (Minus \$5,000) within 30 days
- ▶ 10% within 75 days
- ▶ 10% on occupancy – totalling 30%

Occupancy & Maintenance fee

- ▶ Occupancy is slated for **May 2012**, but will keep you updated during approval process
- ▶ The first year maintenance fee is budgeted at \$4.49 per sq. ft. (includes maintenance, insurance, management fee & reserve), the following years will be adjusted accordingly

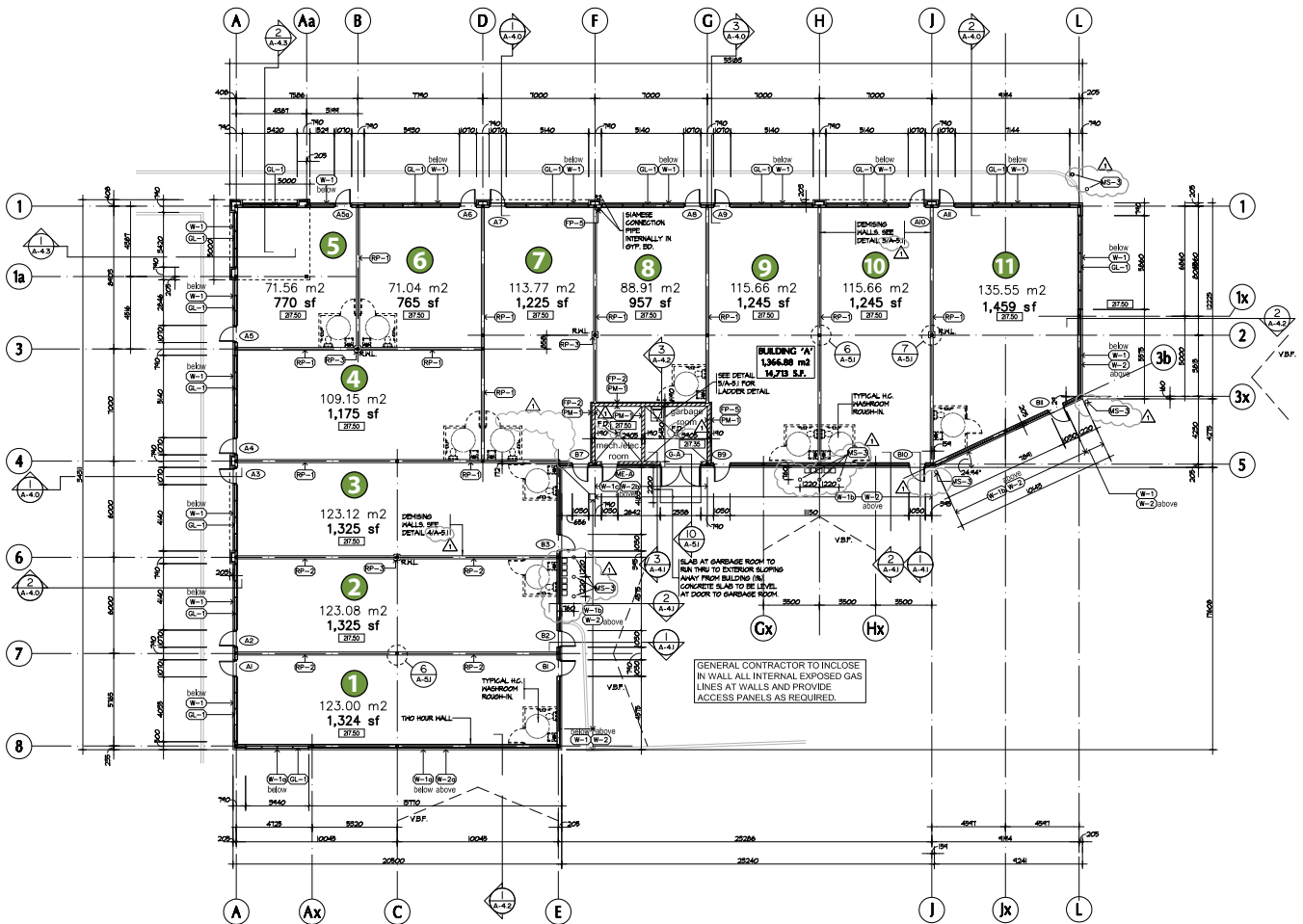
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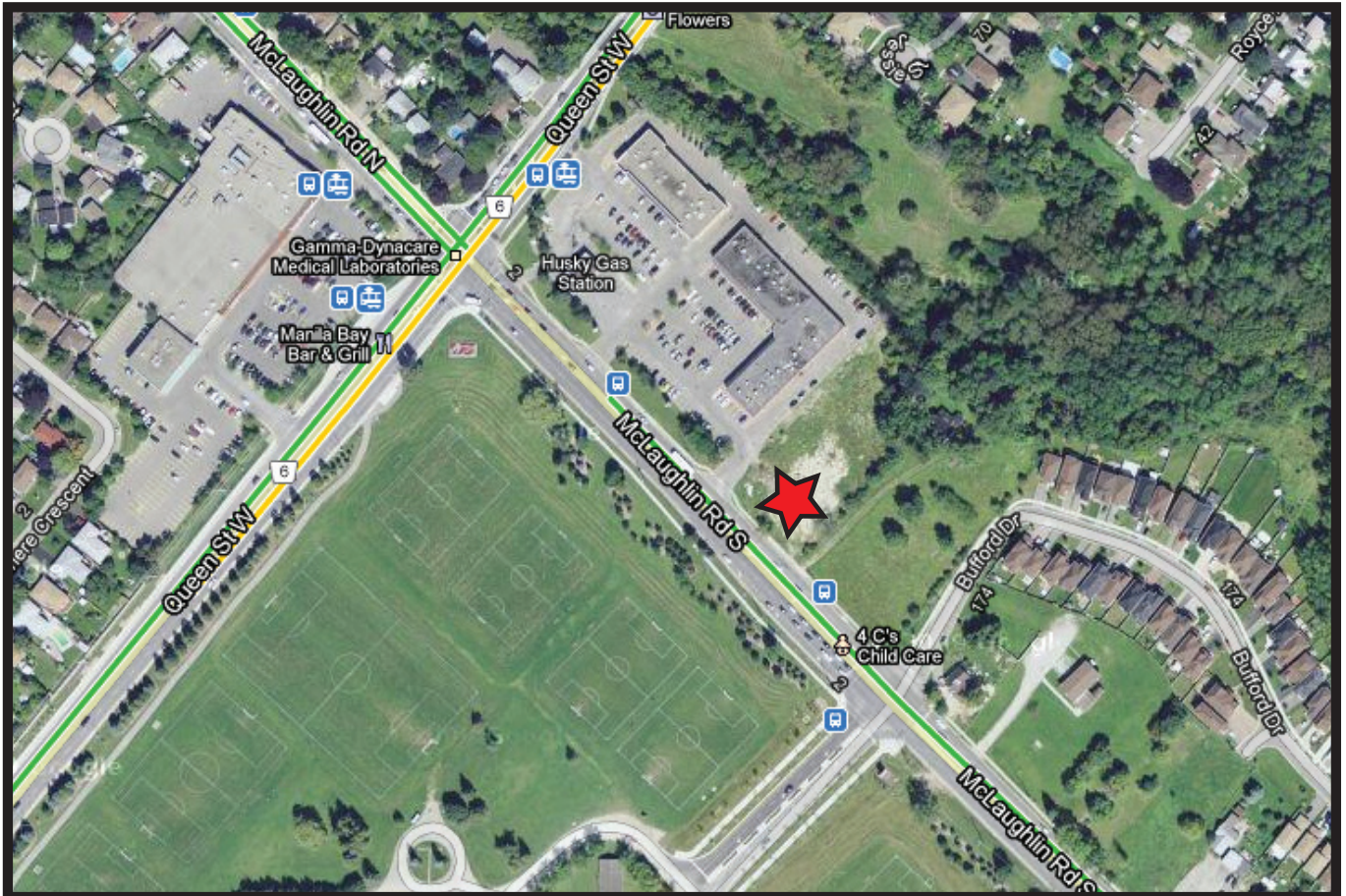
Unit #	Size (Sq. ft.)	Price/Sq. ft.	Sale Price
1	1324	\$399.00	\$528,276.00
2	1325	\$399.00	\$528,675.00
3	1325	\$399.00	\$528,675.00
4	1175	\$399.00	\$468,825.00
5	770	\$399.00	\$307,230.00
6	765	\$399.00	\$305,235.00


Unit #	Size (Sq. ft.)	Price/Sq. ft.	Sale Price
7	1225	\$399.00	\$488,775.00
8	957	\$389.00	\$372,273.00
9	1245	\$369.00	\$459,405.00
10	1245	\$359.00	\$446,955.00
11	1459	\$359.00	\$523,781.00

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 Proposed Future Site

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Brampton

Zoning By-Law Office Consolidation

3149 The lands designated SC - SECTION 3149 on Sheet 59 of Schedule A to this by-law:

3149.1 shall only be used for the following purposes:

- (1) purposes permitted in a SC zone;
- (2) only in connection with an establishment retailing alcoholic beverages, a warehouse operation for alcoholic beverages;
- (3) a gas bar; and,
- (4) purposes accessory to the other permitted purposes.

3149.2 shall be subject to the following requirements and restrictions:

- (1) all main buildings shall be located within the areas shown as Building Areas on Schedule C-3149 to this by-law;
- (2) on-site landscaped open space shall be provided and maintained in the location shown on Schedule C-3149 to this by-law;
- (3) all waste disposal facilities shall be located in enclosed areas or within the areas shown as Building Areas on Schedule C-3149 to this by-law, except that waste disposal facilities for restaurants and food-related uses shall be located within the main buildings in a climate controlled area;
- (4) the height of any building shall not exceed 6.1 metres; and,
- (5) all gasoline pump islands and related canopies shall be located a minimum of 6 metres from any street lines, and a minimum of 7.5 metres from the boundary of any residential properties.



Brampton

Zoning By-Law Office Consolidation

(204-2010)

SECTION 23.1 SERVICE COMMERCIAL – SC

The lands zoned SC on Schedule A to this by-law:

23.1.1 shall only be used for the following purposes:

(a) <u>Commercial</u>	
	(1) a retail establishment having no outside storage
	(2) a service shop
	(3) a personal service shop
	(4) a bank, trust company and finance company
	(5) an office
	(6) a dry cleaning and laundry distribution station
	(7) a laundromat
	(8) a parking lot
	(9) a dining room restaurant, a convenience restaurant, a take-out restaurant
	(10) a printing or copying establishment
	(11) a garden centre sales establishment
	(12) a community club
	(13) a health or fitness centre
	(14) a tavern
	(15) a custom workshop
	(16) an animal hospital
(b) <u>Other</u>	
	(1) a place of worship
	(2) a day nursery
	(3) a group home type 2
	(4) a lodging house
	(5) purposes accessory to the other permitted purposes

23.1.2 shall be subject to the following requirements and restrictions:

(a) Minimum Lot Width	38 metres
(b) Minimum Front Yard Depth	5 metres
(c) Minimum Interior Side Yard Width	3 metres except that where the interior side yard abuts a Residential or Institutional Zone, the minimum interior side yard shall be 5 metres
(d) Minimum Exterior Side Yard Width	5 metres
(e) Minimum Rear Yard Depth	6 metres except that where the rear yard abuts a Residential or Institutional Zone, the minimum rear yard shall be 9 metres
(f) Maximum Building Height	3 storeys
(g) Minimum Landscaped Open Space	60% of the required front yard and the required exterior side yard